

CITY OF ELKHORN  
WALWORTH COUNTY, WISCONSIN

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ARCHITECTURAL REVIEW BOARD & CITY PLAN COMMISSION MEETING NOTICE

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Thursday, April 18, 2024 @ 6:00 PM  
Council Chambers, City Administration Offices, 311 Seymour Court, Elkhorn, Wisconsin

**AGENDA**

- 1) Call to Order**
- 2) Pledge of Allegiance**
- 3) Roll Call**
- 4) Approve Minutes**  
March 7, 2024
- 5) Plan Commission Items**
  - (a) Joseph Doherty, Sirdome Midwest Storage Associates (Owner) - Vacant Lot County Hwy. H & Proctor Dr. (Tax Key YA414900001)
    - (i) Conditional Use Permit/Public Hearing & Recommendation
    - (ii) Site Plan/Discussion & Recommendation
    - (iii) Architectural Review/Discussion & Recommendation
  - (b) Ricardo Angeles (Applicant), Midwest One/South County Properties (Owner) - 1 N. Lincoln St. (Tax Key YRW00022A)
    - (i) Conditional Use Permit/Public Hearing & Recommendation
- 6) General Discussion Items/Updates**
  - (a) Creekside Community Development
  - (b) ZBA Zoning Ordinance Update
  - (c) ETZ Ordinance Update
  - (d) Solar Ordinance Update
- 7) Review Upcoming Meeting Dates & Times**  
May 2, 2024 @ 6:00 PM  
May 16, 2024 @ 6:00 PM
- 8) Adjournment**

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SHOULD YOU HAVE ANY QUESTIONS OR COMMENTS REGARDING ANY ITEMS ON THIS AGENDA, PLEASE CONTACT THE BUILDING AND ZONING OFFICE AT (262) 741-5124. UPON REASONABLE NOTICE TO THE CITY CLERK AT (262) 723-2219, EFFORTS WILL BE MADE TO ACCOMMODATE THE NEEDS OF DISABLED INDIVIDUALS THROUGH APPROPRIATE AIDS AND SERVICES.

NOTICE IS HEREBY GIVEN THAT A MAJORITY OF THE MEMBERS OF THE COMMON COUNCIL MAY ATTEND THIS MEETING TO GATHER INFORMATION ABOUT A SUBJECT OVER WHICH THEY HAVE THE DECISION MAKING RESPONSIBILITY. THE ONLY ACTION TO BE TAKEN AT THE ABOVE ANNOUNCED MEETING WILL BE ACTION OF THE PLAN COMMISSION.

**CITY OF ELKHORN**  
**ARCHITECTURAL REVIEW BOARD/CITY PLAN COMMISSION MEETING**  
**Council Chambers, 311 Seymour Ct., Elkhorn, WI**  
**March 7, 2024**

The Architectural Review Board/City Plan Commission Meeting was called to order at 6:00 p.m. by Chairman Lechner followed by the Pledge of Allegiance and Roll Call.

**ROLL CALL**

Present: Wuttke, Stotko, Boardman, Geaslen, Lechner  
Absent: Hunter, Meinel  
Also Present: Schwark, Swann, Phillips, Lindstrom  
Visitors: Dennis Witte

**APPROVAL OF MINUTES**

Motion (Boardman/Geaslen) to approve the minutes of the Architectural Review Board and Plan Commission meetings of February 15, 2024. Motion carried unanimously.

**PUBLIC HEARING - REZONE/EAST GENEVA ST. & COUNTY ROAD 'H'/WITTE**

Public hearing convened at 6:02 p.m. for the purpose of hearing all interested parties, their attorneys or agents with respect to the proposed rezone from B-2 Community Business District to M-1 Light Manufacturing District for a parcel of land located on the corner of East Geneva Street and County Road "H" (Tax Key No. YVSE00001A) requested by Dennis Witte, Witte Supply. Chairman Lechner asked if anyone wished to be heard regarding this matter. No one wished to be heard. Chairman Lechner asked three times if anyone wished to be heard. No one else wished to be heard. Public hearing closed at 6:03 pm.

**REZONE/EAST GENEVA ST. & COUNTY ROAD 'H'/WITTE**

Dennis Witte, Witte Supply, presented the request to rezone from B-2 Community Business District to M-1 Light Manufacturing District a parcel of land located on the corner of East Geneva Street and County Road "H" (Tax Key No. YVSE00001A). He reported that his business, Witte Supply, located at 230 South Wisconsin Street, is outgrowing its current location. He would like to purchase a vacant lot located on East Geneva Street & County Road H and relocate to the southeast edge of the City in order to expand his landscaping business.

The Zoning Administrator provided the Staff Report dated February 29, 2024. The applicant is requesting approval of a rezoning from B-2 Community Business District to M-1 Light Manufacturing District. The property owner intends to use the land to move his existing landscape supply company located at 230 S Wisconsin Street to this location to further expand his company. Lands to the north are zoned M-1, lands to the south are zoned I-1 and C-1, lands to the east are zoned B-3; and lands to the west are zoned B-6. **Staff Review Summary:** Area, Yard & Height Requirements: The property meets the requirements of the M-1 zoning district. Minimum lot area required is 20,000 square feet, actual lot size is 375,922.8 square feet or approximately 8.6 acres. **Staff Recommendations:** Staff recommends that the Plan Commission **APPROVE** the rezone since the proposed rezoning furthers the purpose and intent of the zoning ordinance and is consistent with the 2040 Land Use Plan designation. **PURPOSE:** To promote the comfort, health, safety, morals, prosperity, aesthetics, and general welfare of the City of Elkhorn, Wisconsin. **INTENT:** It is the general intent of this chapter is to regulate and restrict the use of all structures, lands and waters, and to: (1) Regulate lot coverage and the size of all structures so as to prevent overcrowding and to provide adequate sunlight, air, sanitation, and drainage; (2) Regulate

**CITY OF ELKHORN  
ARCHITECTURAL REVIEW BOARD/  
CITY PLAN COMMISSION MEETING  
MARCH 7, 2024  
PAGE 2**

population density and distribution so as to avoid sprawl or undue concentration and to facilitate the provision of adequate public service and utilities; (3) Regulate parking, loading and access so as to lessen congestion in and promote the safety and efficiency of streets and highways; (4) Secure safety from fire, flooding, pollution, contamination, and other dangers; (5) Stabilize and protect existing and potential property values; (6) Preserve and protect the beauty of the City of Elkhorn; (7) Prevent and control erosion, sedimentation, and other pollution of the surface and subsurface waters; (8) Further the maintenance of safe and healthful water conditions; (9) Provide for and protect a variety of suitable commercial and industrial sites; (10) Protect the traffic-carrying capacity of existing and proposed arterial streets and highways; (11) Implement those municipal, county, watershed, and regional comprehensive plans or components of such plans adopted by the City of Elkhorn; (12) Provide for the administration and enforcement of this chapter; and to provide penalties for the violation of this chapter.

Motion (Boardman/Wuttke) to recommend to Council to approve the request to rezone from B-2 Community Business District to M-1 Light Manufacturing District a parcel of land located on the corner of East Geneva Street and County Road "H" (Tax Key No. YVSE00001A) subject to the Zoning Administrator's Staff Report of February 29, 2024. Roll Call Vote. Member Wuttke-Yes; Member Stotko- Yes; Member Boardman-Yes; Member Geaslen-Yes; Member Lechner-Yes. Motion carried unanimously.

**GENERAL DISCUSSION**

The Zoning Administrator provided a brief update on several proposed and existing projects within the City.

**MEETING DATES**

The next Plan Commission meeting may be scheduled for Thursday, March 21, 2024.

**ADJOURNMENT**

Motion (Wuttke/Geaslen) to adjourn. Motion carried unanimously. Meeting adjourned at 6:08 p.m.

Shari McKinney  
Plan Commission Secretary

**CITY OF ELKHORN  
NOTICE OF PUBLIC HEARING**

**CONDITIONAL USE PERMIT**

Notice is hereby given that a public hearing will be held before the Plan Commission of the City of Elkhorn on April 18, 2024, at 6:00 P.M. or soon thereafter as the matter may be heard in the Council Chambers, City Administration Offices, 311 Seymour Court, Elkhorn, WI for the purpose of hearing all interested parties, their attorneys or agents with respect to the application submitted by Joe Doherty, Sirdome Midwest Storage Association Inc. for a Conditional Use Permit to allow rentable mini warehouse storage units located on a vacant lot off County Road H and Proctor Drive. The property is more precisely identified by the following tax parcel ID:

**YA414900001**

The City of Elkhorn will attempt to accommodate anyone with special needs if requests are made a sufficient time in advance. The City Clerk can be reached at: (262) 723-2219.

Dated this 25th day of March 2024.

Allison Schwark  
Zoning Administrator

Publish 2x: 04/04/24 & 04/11/24  
Elkhorn Independent

# PLANNING REQUEST

FOR OFFICE USE ONLY

PC# ED4.02.003

## CITY OF ELKHORN - DEPARTMENT OF BUILDING AND ZONING

311 SEYMOUR COURT., P.O. BOX 920 • ELKHORN, WI 53121

PHONE: (262)741-5124 • FAX: (262) 741-5135

Notice: This document is an Official City of Elkhorn Document. All submittals must be made on Official City of Elkhorn Documents.

### 1. General Project Information:

Project Tax Key #: YA 414900001 Project Address: C.T.H. "H"  
Project Title (if any): Elkhorn Storage Park (This may Change)

### 2. Applicant, Agent & Property Owner Information:

Applicant's Name: Joseph Doherty Company: Sirdome, Midwest Storage Assn. (Inc.)  
Street Address: N 8206 High Ridge Road City/State: Elkhorn, WI Zip: 53121  
Telephone: (262) 903-6016 Fax: (NA) Email: joe@6sigma-wi.com

Agent: Same Company: \_\_\_\_\_

Street Address: \_\_\_\_\_ City/State: \_\_\_\_\_ Zip: \_\_\_\_\_

Telephone: ( ) \_\_\_\_\_ Fax: ( ) \_\_\_\_\_ Email: \_\_\_\_\_

Owner, if different from Applicant: Same

Street Address: \_\_\_\_\_ City/State: \_\_\_\_\_ Zip: \_\_\_\_\_

Telephone: ( ) \_\_\_\_\_ Fax: ( ) \_\_\_\_\_ Email: \_\_\_\_\_

### 3. Planning Request (Check all that apply)

- Site Plan and Architectural Review \_\_\_\_\_ \$175.00 plus \$.04 per sq. ft. (Floor Area)
- Conditional Use Permit \_\_\_\_\_ \$275.00
- Rezone \_\_\_\_\_ \$325.00
- Land Use Amendment \_\_\_\_\_ \$350.00
- Planned Unit Development \_\_\_\_\_ \$325.00
- Preliminary Plan \_\_\_\_\_ \$200.00 plus \$20.00 per lot
- Final Plat \_\_\_\_\_ \$200.00 plus \$20.00 per lot
- Certified Survey Map \_\_\_\_\_ \$200.00 plus \$20.00 per lot
- Project Concept Review \_\_\_\_\_ \$150.00
- Conceptual Land Division \_\_\_\_\_ \$100.00 plus \$3.00 per acre
- Joint Conditional Use & Rezoning \_\_\_\_\_ \$575.00
- Joint Rezoning & Certified Survey Map \_\_\_\_\_ \$500.00 plus \$20.00 per each new lot
- Zoning Board of Appeals/Adjustment \_\_\_\_\_ \$325.00

LOT 1, CSM 4149

TOTAL Fee = \$2,598.00

53,710 S.F. of Buildings

# CONDITIONAL USE PERMIT APPLICATION

FOR OFFICE USE ONLY  
PC# E24.02.003

**CITY OF ELKHORN - DEPARTMENT OF BUILDING AND ZONING**


311 SEYMOUR COURT, P.O. Box 920 • ELKHORN, WI 53121  
PHONE: (262)741-5124 • FAX: (262) 741-5135

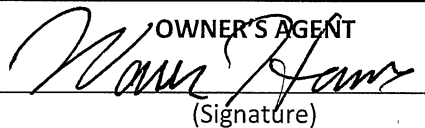
Notice: This document is an Official City of Elkhorn Document. All submittals must be made on Official City of Elkhorn Documents.

I, (We), the undersigned owner(s)/agent do hereby petition the Plan Commission to grant a Conditional Use Permit.

1. Address and legal description of the subject site (attach a separate sheet if necessary): \_\_\_\_\_  
C.T.H. "H" ELKHORN, WIS. 53121  
LOT CSM #4149
2. Tax Parcel number: TA 41490001
3. Zoning District: M-1
4. Requested Conditional Use: Rentable Storage Units in 5 Buildings
5. Petitioner's interest in the requested Conditional Use Permit: OWNER
6. List type and number of structures, proposed operation or use of the structure(s) or site, number of employees, parking, etc.: 2 EMPLOYEES (MAX), 5 Structures, One Large Stormwater basin, 1 small office, 9 cars of parking, Part one Building for climate control

I, (We) hereby certify that all the above statements and attachments submitted herewith are true and correct to the best of my knowledge and belief.

<b>PROPERTY OWNER</b>
 (Signature)
<u>Joseph M Doherty</u> Printed
<u>Sindome midwest Storage associates, Inc.</u> Address <u>18206 High Ridge Dr</u> <u>Elkhorn, Wi. 53121</u>
Phone <u>262-903-6016</u>

<b>OWNER'S AGENT</b>
 (Signature)
<u>Warren Hansen</u> Printed
Address <u>FARRIS, HANSEN &amp; ASSOC</u> <u>7 Ridgway Ct, Elkhorn</u>
Phone <u>(262) 723-2098</u>

---- FOR OFFICE USE ONLY ----

Application Reviewed By: \_\_\_\_\_ Date: \_\_\_\_\_  
 Date Filed: \_\_\_\_\_ Date Published: \_\_\_\_\_ Date Notices Mailed: \_\_\_\_\_  
 Date of Public Hearing: \_\_\_\_\_  
 PLAN COMMISSION RECOMMENDATION: \_\_\_\_\_ DATE: \_\_\_\_\_  
 CITY COUNCIL ACTION: \_\_\_\_\_ DATE: \_\_\_\_\_

**CITY OF ELKHORN**  
COST RECOVERY CERTIFICATE AND AGREEMENT  
PURSUANT TO SECTION 3.04 OF THE MUNICIPAL CODE OF  
THE CITY OF ELKHORN

Notice to Applicant: This document is an Official City of Elkhorn Document. All submittals must be Official City of Elkhorn Documents.

The undersigned Applicant hereby acknowledges and agrees to be bound by Ordinance No 1066 as codified at Section 3.04 of the City of Elkhorn Municipal Code, providing for City recovery of all costs and disbursements incurred in the process of considering requests by an Applicant related to the City of Elkhorn Zoning or Subdivision Code. The Applicant further agrees in consideration of the City's incurring cost and hiring of the City for all costs recoverable pursuant to the terms of the above numbered ordinance within the time period set forth in the ordinances.

Purpose of Application Site plan review for storage building  
Project Name ELKHORN STORAGE PARK  
Physical Address C.T.H. "H", ELKHORN, WI  
Tax Key # YA414900001 Phone # (262) 903-6016  
Contact Name (if different from applicant) Warren Hansen, Farris/Hansen Associates  
Mailing Address N 8206 High Ridge Road  
City Elkhorn State WI Zip 53121  
Billing address (if different) NA  
City — State — Zip —

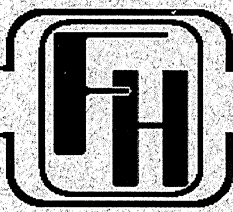
Dated this 13th day of Feb., 2024

APPLICANT: Joseph Doberty  
(Printed Name)  
[Signature]  
(signature)

Original: City Records  
Copy: Applicant  
Copy City: Attorney

Project #: 7576.23

Note to Applicant: The City Engineer, City Attorney and other City professionals and City staff, if requested by the City to review your request, will bill for their time at an hourly rate which is adjusted from time to time by agreement with the City. Please inquire as to the current hourly rate you can expect for this work. In addition to these rates, you will be asked to reimburse the City for those additional costs set forth in Section 3.04 of the Municipal Code.



# Farris, Hansen & Associates, Inc.

Engineers Architects Surveyors

February 20, 2024

City of Elkhorn  
311 Seymour Court  
Elkhorn, WI 53121

Re: Elkhorn Storage Park  
Joe Doherty, Sirdome Midwest Storage  
Project No. 7576.23

## City Plan Commission Members:

We have enclosed applications and fees for the Elkhorn Storage Park accessed off CTH H. Plans are also enclosed; 3 full size and 10 reductions. The list of property owners is also enclosed located within 100' of the development. Colors of the five buildings will be matching the same and sample of the siding brought in. The exact earth tone color is not yet selected.

There will be a small office and there is a reported watermain on the west side of H, but has not been shown on the ALTA survey so we assume it is the ROW. There is no sewer available and we propose installing a holding tank for the very minimal amounts of wastewater from one toilet/sink in a small office that would only be occupied periodically. We would install a fire hydrant and water service near the entry off H.

If you have any questions, please call.

Sincerely,

FARRIS, HANSEN & ASSOCIATES, INC.

Warren E. Hansen, P.E.

hes

enclosures

pc: Joe Doherty

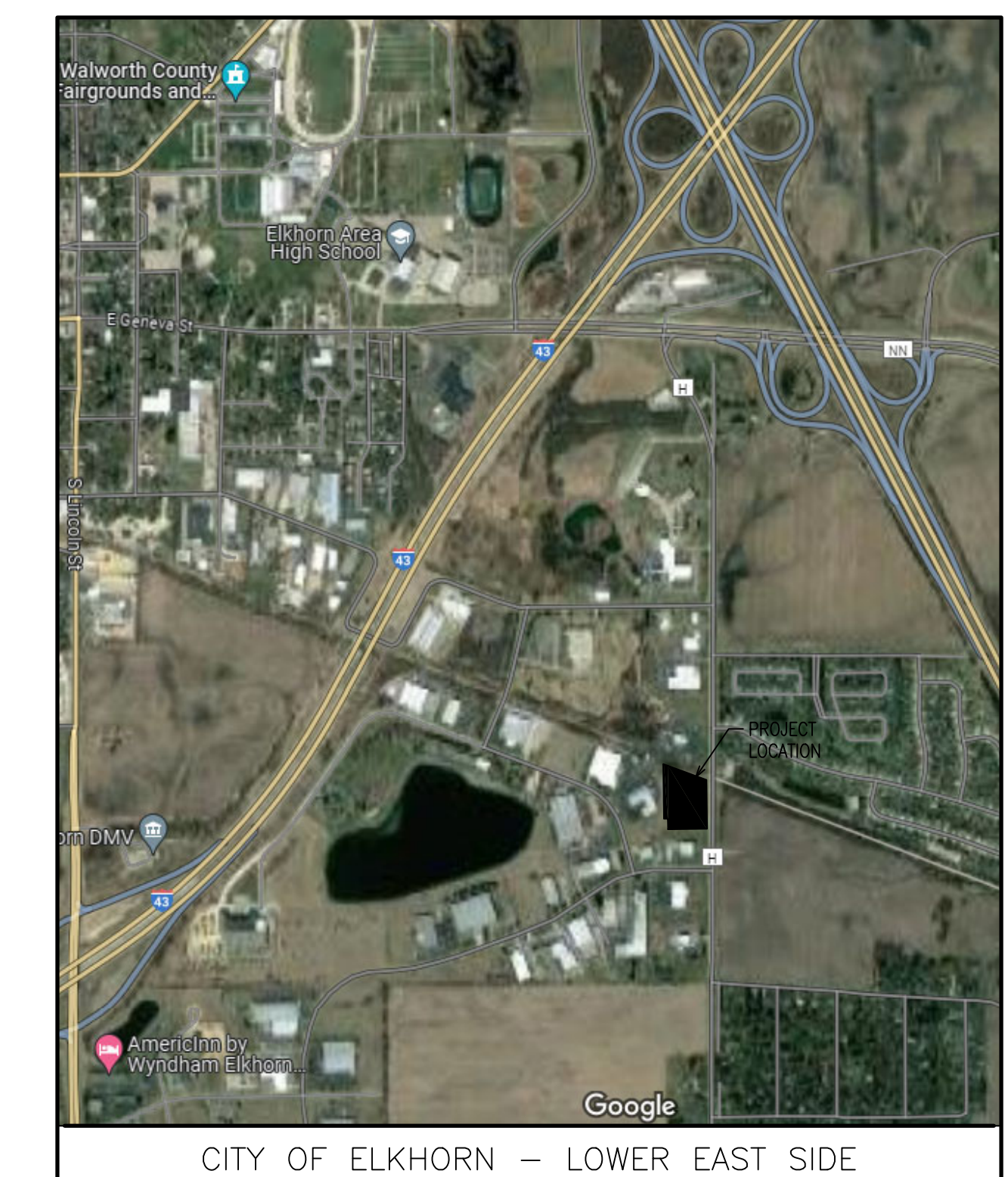
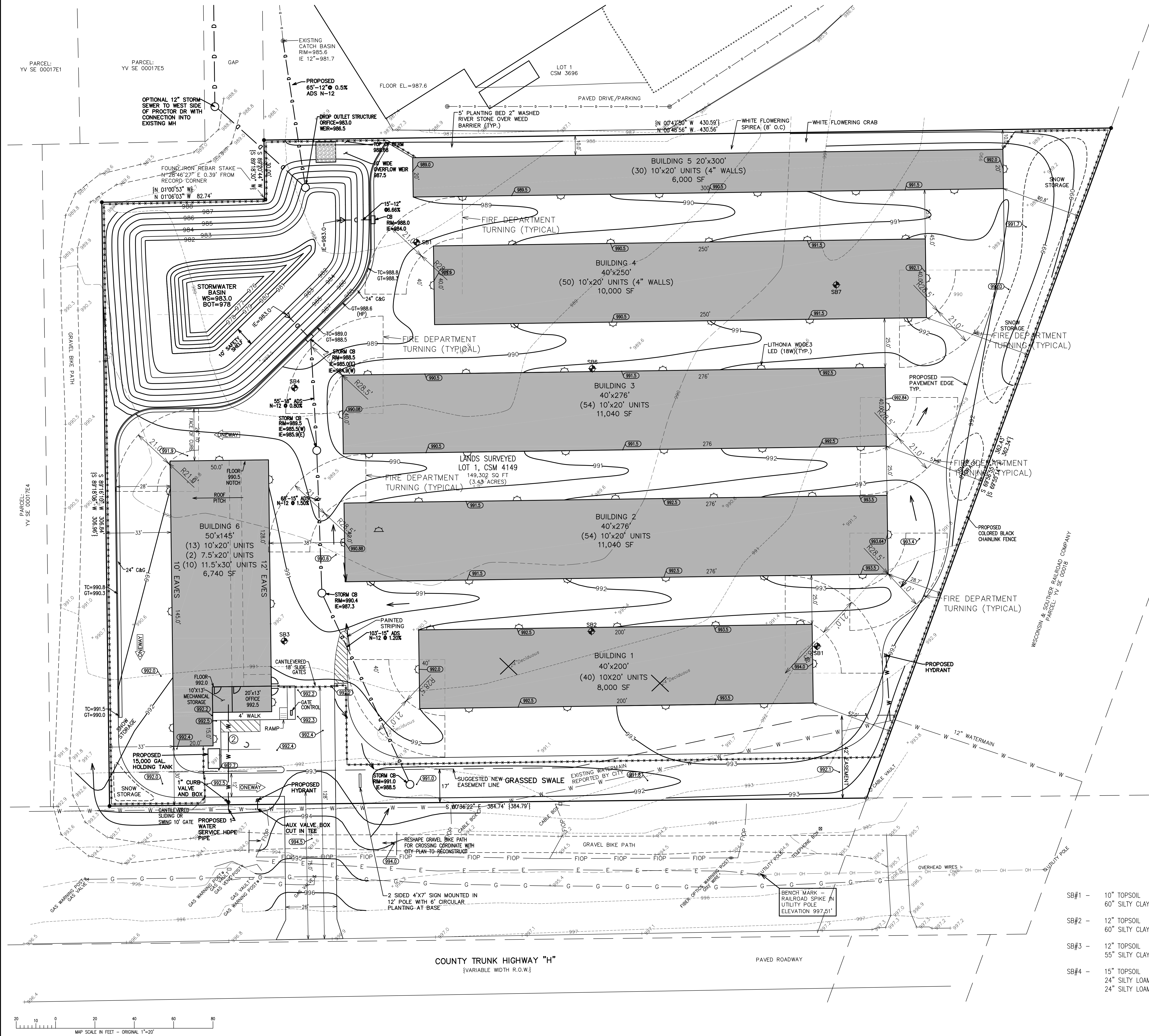


# SITE, GRADING, DRAINAGE & EROSION CONTROL PLAN

## LOT 1 OF CERTIFIED SURVEY MAP NO. 4149

LOCATED IN PART OF THE NE 1/4 & SE 1/4 OF THE SE 1/4 OF SECTION 6, TOWN 2 NORTH, RANGE 17 EAST,  
CITY OF ELKHORN, WALWORTH COUNTY, WISCONSIN

ASSIGNED THE EASTERLY BOUNDARY OF LOT 1  
S 0°34'22" E PER RECORD C.S.M.



- LEGEND**
- = IRON PIPE FOUND 1 3/8" O.D.
  - = IRON REBAR FOUND 3/4" O.D.
  - ⊕ = SOIL BORING
  - [XXX] = RECORDED AS
  - = EXISTING GROUND ELEVATION
  - - - - = EXISTING LAND CONTOURS
  - — — — = PROPOSED LAND CONTOURS
  - = DIRECTION OF WATER FLOW
  - — — — = PROPOSED TOP OF CURBED CONCRETE WALK
  - — — — = PROPOSED FINISHED GRADE
  - TF = TOP OF FOUNDATION ELEVATION
  - FF = FIRST FLOOR ELEVATION
  - TC = TOP OF CURB ELEVATION
  - GT = GUTTER ELEVATION

SHEET 1 - SITE, GRADING, DRAINAGE & EROSION CONTROL PLAN  
 SHEET 2 - SITE PLAN WITH LANDSCAPING AND LIGHTING  
 SHEET 3 - SPECIFICATIONS AND DETAILS  
 SHEET 4 - FLOOR PLANS AND BUILDING ELEVATIONS (TYP)

**SITE SUMMARY**

TOTAL LAND AREA: 149,302 S.F. 3.43 ACRES  
 TOTAL AREA DISTURBED: 149,302 S.F. (3.43 ACRES) (NOI REQUIRED)  
 ZONING: M-1

PROPOSED BUILDINGS: 52,820 S.F. 1.21 ACRES 36.0%

BUILDING 1: 8,000 SF	(20) 10'x20' UNITS
BUILDING 2: 11,040 SF	(27) 10'x20' UNITS
BUILDING 3: 11,040 SF	(27) 10'x20' UNITS
BUILDING 4: 10,000 SF	(25) 10'x20' UNITS
BUILDING 5: 6,000 SF	(30) 10'x20' UNITS
BUILDING 6: 6,740 SF	(32) 8'x12.5' UNITS CLIMATE CONTROLLED (2) 7.5'x20' UNITS (13) 10'x20' UNITS

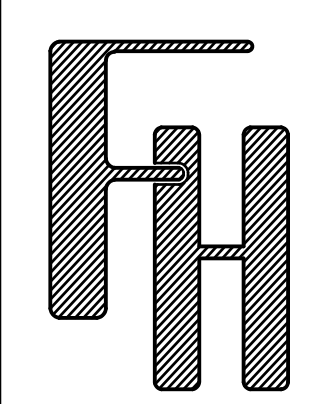
PROPOSED NEW PAVEMENT AREA = 63,243 S.F. 1.45 ACRES 42.3%

PROPOSED NEW PARKING = CARS w/ HANDICAP

NOTE: 4" CONCRETE SLABS WITH CONTROL JOINTS AT WALL LINES OR 10'00 MAX. SOIL BEARING VALUE ESTABLISHED @ 2,000 PSF FOR ALL BUILDING.

REAR YARD SETBACK TO RAILROAD R.O.W. (AVERAGE 43.7')

- |  |   |
|--|---|
| SB#1 - 10" TOPSOIL<br>60" SILTY CLAY LOAM (DRY)                      | SB#5 - 10" TOPSOIL<br>30" SILTY LOAM (WET)<br>24" SILTY LOAM (VERY WET)     |
| SB#2 - 12" TOPSOIL<br>60" SILTY CLAY LOAM (MOIST)                    | SB#6 - 12" TOPSOIL<br>30" SILTY LOAM (MOIST)<br>24" SILTY CLAY LOAM (MOIST) |
| SB#3 - 12" TOPSOIL<br>55" SILTY CLAY LOAM (MOIST)                    | SB#7 - 10" TOPSOIL<br>36" CLAY LOAM (DRY)<br>24" SILTY CLAY LOAM (MOIST)    |
| SB#4 - 15" TOPSOIL<br>24" SILTY LOAM (MOIST)<br>24" SILTY LOAM (WET) |   |



**ELK STORAGE**

WORK ORDERED BY -  
 MIDWEST STORAGE ASSOCIATES INC.  
 18206 HIGH RIDGE ROAD  
 ELKHORN, WI 53121

**FARRIS, HANSEN & ASSOCIATES, INC.**  
 ENGINEERING - ARCHITECTURE - SURVEYING  
 7 RIDGWAY COURT P.O. BOX 437  
 ELKHORN, WISCONSIN 53121  
 PHONE: (262) 723-2098 e-mail: office@farris-hansen.com

**REVISIONS**

1/11/2024 - DHS	ADD BUILDINGS AND NOTES
1/29/2024 - DHS	SITE GRADING PLAN
02/09/2024 - TS	ADVANCE
02/15/2023 - TS	ADVANCE
02/23/2024 - TS	ADVANCE
03/08/2024 - TS	ADVANCE
03/13/2024 - TS	ADVANCE
03/21/2024 - TS	ADVANCE

PROJECT NO.  
**7576.23**

DATE  
**12/15/2023**

SHEET NO.  
**1 OF 4**

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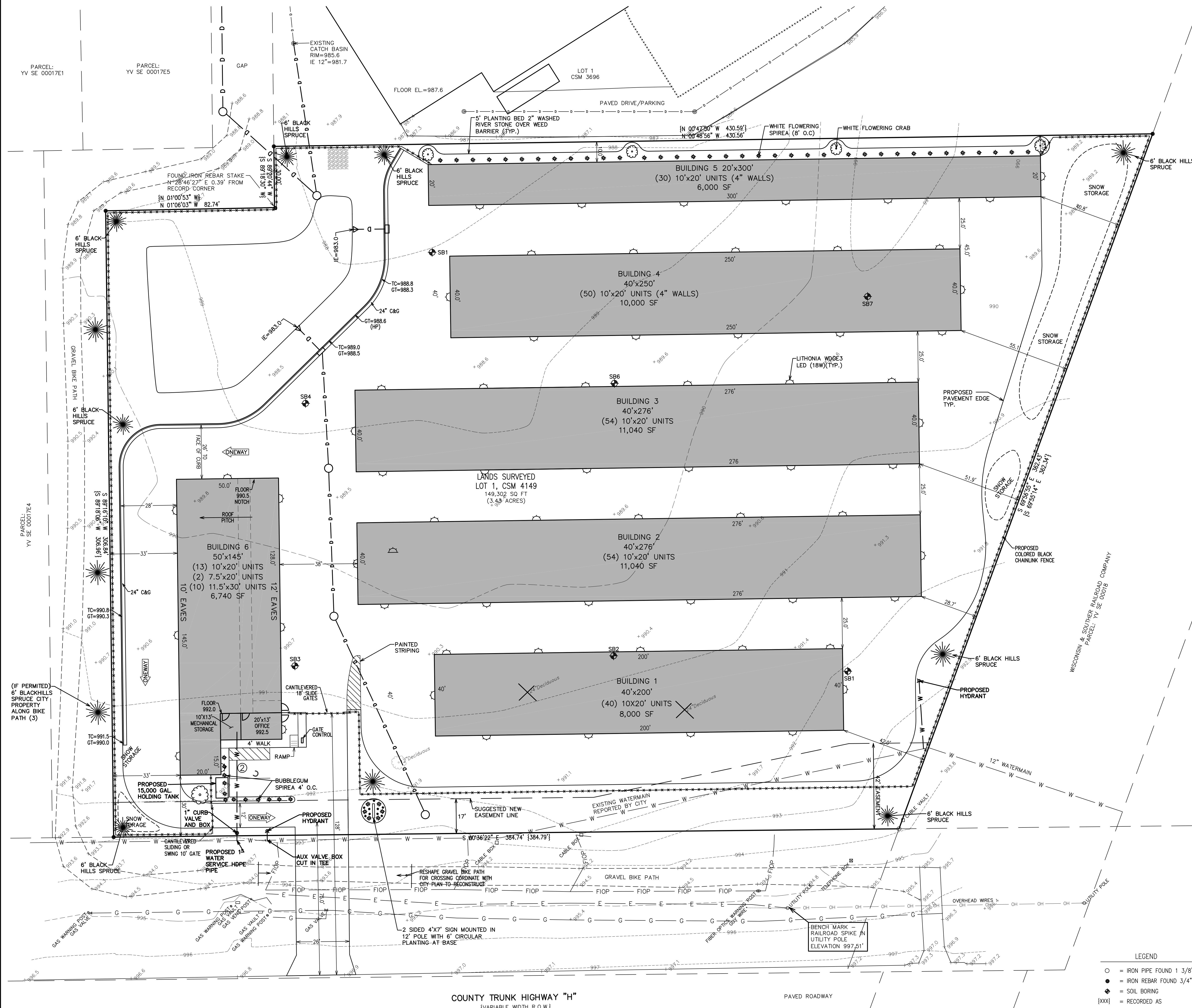


# SITE PLAN WITH LANDSCAPING AND LIGHTING

## LOT 1 OF CERTIFIED SURVEY MAP NO. 4149

LOCATED IN PART OF THE NE 1/4 & SE 1/4 OF THE SE 1/4 OF SECTION 6, TOWN 2 NORTH, RANGE 17 EAST,  
CITY OF ELKHORN, WALWORTH COUNTY, WISCONSIN

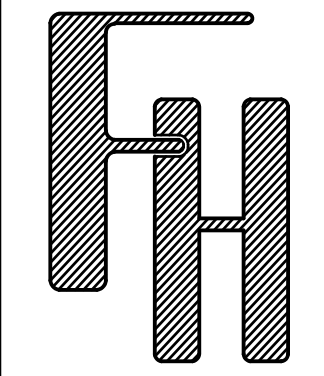
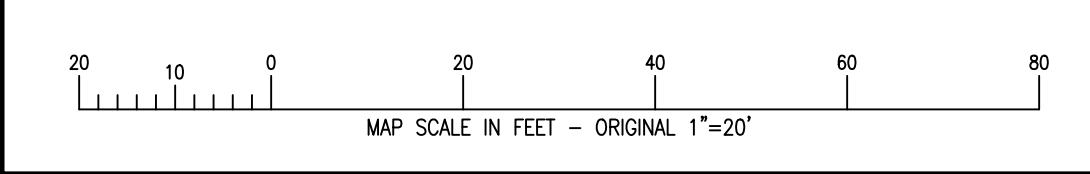
ASSIGNED THE EASTERLY BOUNDARY OF LOT 1  
S 00°34'22" E PER RECORD C.S.M.



- LEGEND**
- = IRON PIPE FOUND 1 3/8" O.D.
  - = IRON REBAR FOUND 3/4" O.D.
  - ⦿ = SOIL BORING
  - [xxx] = RECORDED AS
  - ☀ = 13 WATT LED WALL PACK 1622 LUMENS/5000K (PHOTOCELL FOR EACH BUILDING SIDE)

**LIGHTING FIXTURES**

(52) 13 WATT LED WALL PACK (PHOTOCELL FOR EACH BUILDING SIDE)  
1622 LUMENS | 5000K



**ELK STORAGE**

WORK ORDERED BY -  
**SIRDOME, MIDWEST STORAGE ASSOCIATES INC.**  
N8206 HIGH RIDGE ROAD  
ELKHORN, WI 53121

**FARRIS, HANSEN & ASSOCIATES, INC.**  
ENGINEERING - ARCHITECTURE - SURVEYING  
7 RIDGWAY COURT P.O. BOX 437  
ELKHORN, WISCONSIN 53121  
PHONE: (262) 723-2098 e-mail: office@farris-hansen.com

REVISIONS	
1/11/2024 - DHC	ADDED BUILDINGS AND NOTES
1/29/2024 - DHC	SITE GRADING PLAN
02/09/2024 - TS	ADVANCE
02/15/2023 - TS	ADVANCE
02/23/2024 - TS	ADVANCE
03/08/2024 - TS	ADVANCE
03/13/2024 - TS	ADVANCE
03/21/2024 - TS	ADVANCE

PROJECT NO.	<b>7576.23</b>
DATE	<b>12/15/2023</b>
SHEET NO.	<b>2 OF 4</b>

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## Memo to City of Elkhorn

**To:** Allison Schwark, B&Z Administrator **Date:** April 1, 2024

**From:** Naomi Rauch, P.E.  
262-758-6032

**CC:** Matt Lindstrom - City of Elkhorn Public Works  
Shari McKinney – City of Elkhorn  
Mike Timmers P.E. – Kapur & Associates, Inc.

**Subject:** SITE PLAN REVIEW – PIN YA414900001 (Elkhorn Storage Park)  
*Kapur Project #24.0190 Phase 02*

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### **BACKGROUND AND REQUEST:**

A site plan application was submitted by Farris Hansen and Associates for the construction of 6 storage condos off CTH H (PIN YA414900001). Improvements also include a new parking lot and internal driveway system and new stormwater pond. The parcel has a total area of 149,302 S.F. (3.43 Acres). There is no existing on-site impervious area. The proposed on-site impervious area is 121,754 S.F. (81.54% of total area). The property is classified as M-1 zoning.

The following plan and calculations were submitted for review:

- **Site, Grading, Drainage & Erosion Control Plan**, prepared by Farris, Hansen and Associates, three sheets, dated 12/15/2023, and last revised 3/13/2024.
- **Stormwater Management Plan**, prepared by Farris Hansen and Associates, 91 sheets, dated February 2024.

### **Comments:**

We have reviewed the information above and offer the following comments:

### **SITE PLAN:**

1. It is unclear if the utility easement over the existing watermain referenced on the 1980's as-built drawing was ever finalized. If no such utility easement exists, a new easement will be required based on a confirmed location of the on-site public watermain. Coordination with the City Water Utility is required for proper location of the watermain.
2. City Fire review and approval is required with respect to adequate fire protection and internal emergency vehicle movements throughout the site. The plans show turning radii that would require turning movements through proposed buildings, as well cross-slopes on drive paths that are shown at 9% between Buildings 1 & 2 and 3 & 4. Both situations restrict fire access. The Elkhorn Fire Department recently confirmed that the largest trucks require 45-ft to complete a right or left turn around buildings. Please clarify the fire access lanes and the 150-ft fire access limits within the





development. For example, the turning radius at the SW corner of Building 6 does not accommodate a fire access lane; however, fire access may be reasonable from another route.

3. Proposed grading on the north side of the stormwater basin does not match existing grade at the property line. The topo of berm is labeled at 988.68 and the existing grade at the property line is 978.9. The entire berm of the detention basin (from top to toe) must be contained within the property.
4. Comment #7 of the 2-27-24 review has not been addressed. *“The City of Elkhorn is reconstructing the existing bike path surrounding the site in summer 2024. Grading shall be proposed to match into the new path, see Kapur Plans attached. Any alterations deemed necessary for construction of the ingress/egress must be designed and constructed in accordance with the Wisconsin Bicycle Facility Design Handbook.”*
  - a. Cross Slopes for the bike path shall be limited to 2% slopes (including through the proposed ingress/egress driveway).
  - b. Longitudinal Slopes for vertical alignment adjustments for the path shall be limited to a maximum of 5% slopes.
5. Based on conversations with Farris Hansen, two storm sewer system connections are being considered:
  - a. The outfall pipe from the proposed basin will connect to the private storm sewer system on the adjacent property. An agreement signed by both property owners agreeing to this work shall be provided to the City.
  - b. The outfall pipe from the proposed basin will connect into the storm sewer system on Proctor Drive via the City owned parcel. The plans must be revised to include alignment and details of the connection if ultimately proposed.
6. Sheet 1 shall label the invert for the 12-inch outlet pipe at the Outlet Control Structure (OCS) and at the existing structure it connects into. The detail on Sheet 3 labels the outlet pipe as an 8-inch with an invert of 983.0. Please check for consistency.
7. The proposed basin requires a Type A Clay Liner conforming to WDNR Technical Standard 1001. The Wet Pond Cross Section shall be updated to reflect this requirement.

#### **STORMWATER REPORT:**

8. Kapur concurs that the development shall meet the existing release rates from the site as opposed the peak discharge release rates of Chapter 14.05 of the Municipal Code. This parcel is a part of a larger development with a regional detention facility downstream of the proposed improvements that further reduces peak flow rates.
9. Comment #7 of the 2-27-24 review has not been addressed. *“Offsite drainage area from the south, Parcel YV SE 00017E4, as well as the train tracks to the north, shall be included in the drainage area, stormwater model and spillway sizing calculations (assuming clogged condition). Flow rates from the offsite drainage area may be bypassed over an appropriately sized spillway.”* An annotated county contour map shows the estimated off-site drainage divide. We have estimated approximately 2.5 acres of off-site drainage while the calculations account for 1.03 acres.
10. Thank you for separating out the off-site drainage areas in the proposed conditions HydroCAD model. For comparison purposes, the existing HydroCAD model shall also include the separate off-site drainage areas.



11. Calculations shall be provided for the proposed overflow weir demonstrating that the spillway is sized to convey the 100-year peak inflow rate from the development and all offsite drainage areas without overtopping the berm.
12. The stormwater maintenance agreement shall be modified to follow the City of Elkhorn template, as attached.

The plans have been reviewed for conformance with generally accepted engineering practices and City of Elkhorn policies. Although the material has been reviewed, the applicant is ultimately responsible for the thoroughness and accuracy of the plans and supplemental data and for compliance with state, county, and other local ordinances and procedures.

Please contact me if you have any questions or comments pertaining to this project.

Attachments:





- Kapur Trail Plans (PDF)
- Maintenance Agreement Template (digital)
- Offsite Drainage Exhibit (PDF)

FILENAME: D:\Wauwath\_Co\Elkhorn\_City\Gov\230455\_2024\_E\_Centralia St\_Phase 2\_Reconstruction\Design\230455\_Plan\_Road&Storm.dwg ID DATE: 1/24/2024  
 PLOT DATE/TIME: 1/25/2024 10:06 AM  
 PLOTTED BY: JACOB A. BRECKLER

### STORM SEWER NOTES

1. ALL UTILITY TRENCH BACKFILL MATERIAL SHALL BE GRANULAR.
2. ALL MANHOLE COVERS TO BE NEENAH R-1550; ALL CURB INLET COVERS TO BE NEENAH R-3067-L.
3. ALL RIM ELEVATIONS PROVIDED FOR MANHOLES ARE TO CENTER OF STRUCTURE. ALL RIM ELEVATIONS PROVIDED FOR INLETS AND CB ARE TO CENTER OF FLOW LINE.
4. ALL MH STATIONS AND OFFSETS PROVIDED ARE TO CENTER OF STRUCTURE. ALL CB PROVIDED ARE TO CENTER OF FLOW LINE. ALL PIPE LENGTHS AND SLOPES FOR MANHOLES ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
5. ALL FES STATIONS AND OFFSETS ARE TO CENTER OF PIPE CONNECTION TO BELL.
6. LOCATION AND ELEVATION OF EXISTING UTILITIES SHOWN IS APPROXIMATE.

### LEGEND

-  NEW ASPHALT PAVEMENT
-  NEW CONCRETE DRIVEWAY
-  NEW CONCRETE SIDEWALK
-  NEW CURB & GUTTER  
SEE DETAILS 5 & 6/SHEET 2.2



1224 S. Pine Street  
Burlington, Wisconsin  
53105

kapurinc.com

PROJECT:  
**2024 E CENTRALIA STREET RECONSTRUCTION**

LOCATION:  
**CITY OF ELKHORN, WALWORTH COUNTY, WISCONSIN**

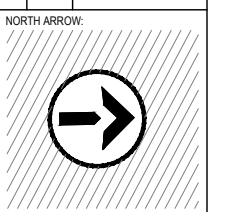


CLIENT:  
**ELKHORN WISCONSIN**

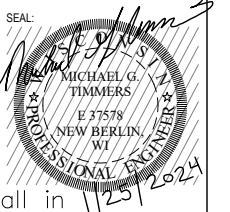
RELEASE:  
**BID PLANS**

REVISIONS:

#	DATE	DESCRIPTION



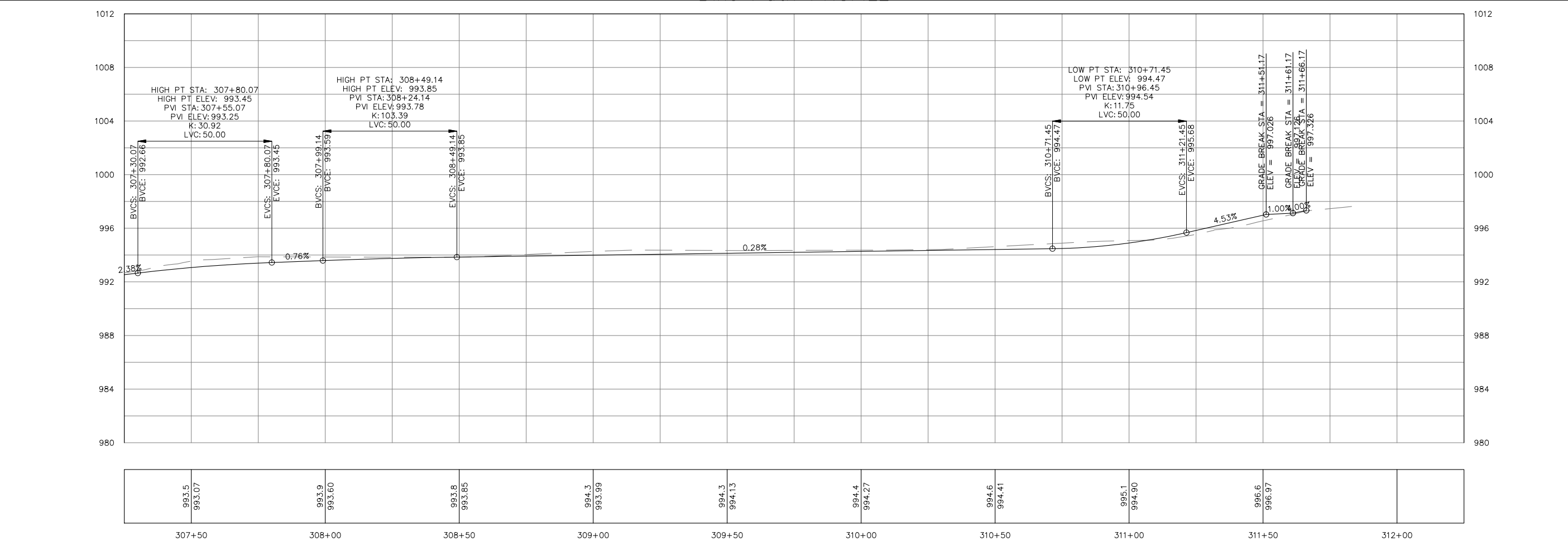
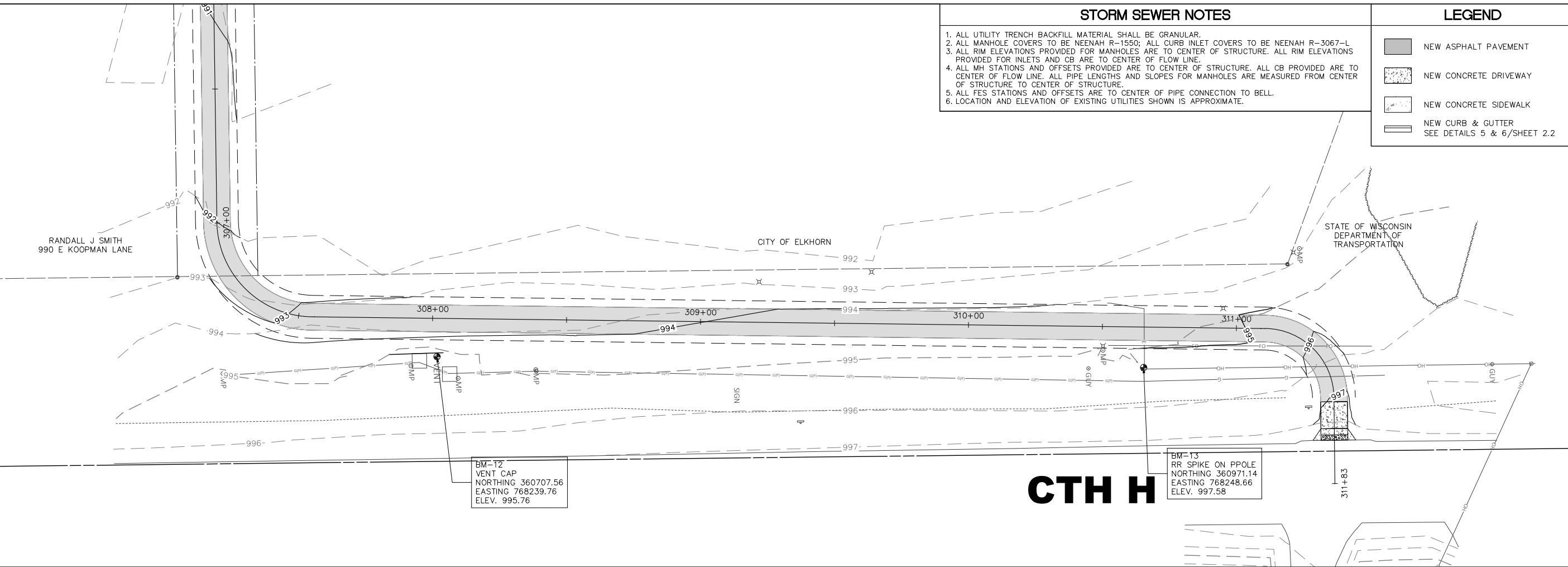
SCALE: 1" = 20'



SHEET:  
**BIKE PATH DESIGN PROFILE**

PROJECT MANAGER: MGT  
PROJECT NUMBER: 23.0455  
DATE: 1/25/2024

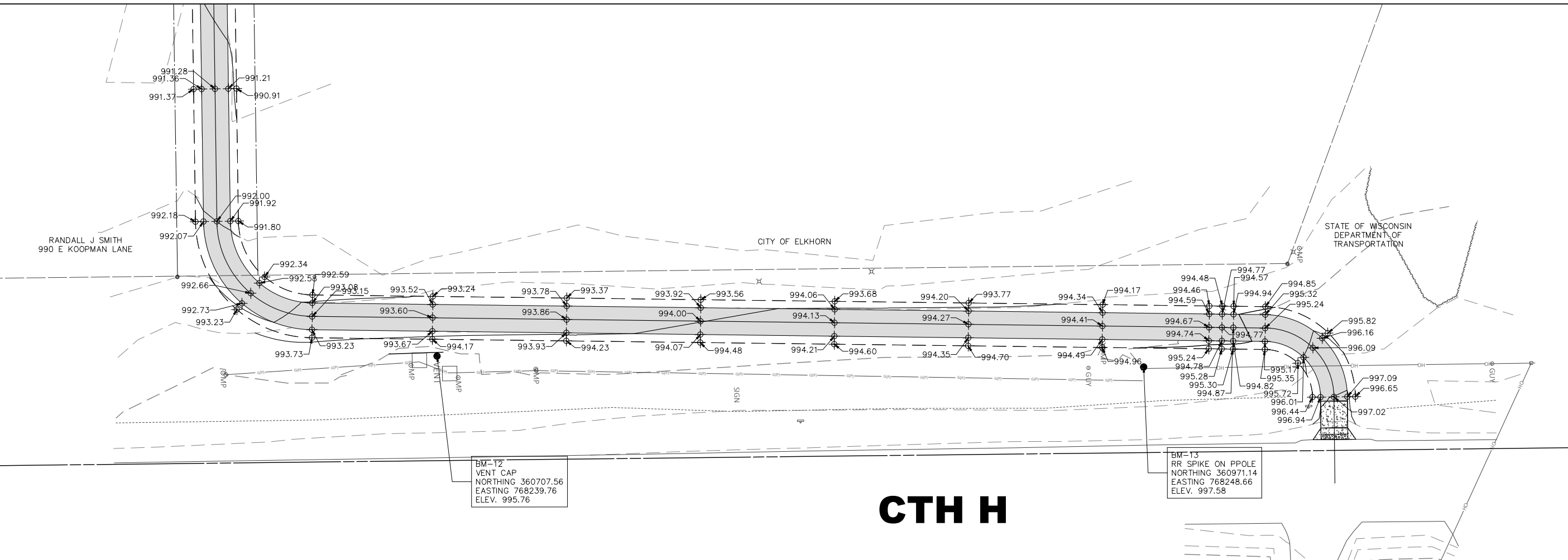
SHEET NUMBER:  
**5.9**



993.5 993.07	993.9 993.60	993.8 993.65	994.3 993.99	994.3 994.13	994.4 994.27	994.6 994.41	995.1 994.90	996.6 996.97
307+50	308+00	308+50	309+00	309+50	310+00	310+50	311+00	311+50



FILENAME: D:\Waltham\_Co\Elkhorn\_City\Gov\230455\_2024\_E\_Centralia\_St\_Phase\_2\_Reconstruction\Design\230455\_PLN\_GRADING.dwg  
 PLOT DATE/TIME: 1/25/2024 10:10 AM  
 SAVED DATE: 1/24/2024  
 PLOTTED BY: JACOB A. BRECKLER



BM-12  
 VENT CAP  
 NORTHING 360707.56  
 EASTING 768239.76  
 ELEV. 995.76

BM-13  
 RR SPIKE ON POLE  
 NORTHING 360971.14  
 EASTING 768248.66  
 ELEV. 997.58

# CTH H

FOR GRADING AT CTH H RAMP SEE SHEET 7.6

GRADING LEGEND	
⊕ 760.00	PROPOSED FINISH ELEVATIONS
⊕ 760.0±	MATCH EXISTING ELEVATIONS
— 760 —	PROPOSED CONTOUR ELEVATIONS
- - 760 - -	EXISTING CONTOUR ELEVATIONS

**GRADING NOTES**

GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS ARE RESPONSIBLE FOR VERIFYING OWNERSHIP OF AND COORDINATING THE DEMOLITION AND/OR RELOCATION OF ALL EXISTING UTILITIES FROM EXISTING BUILDINGS AND WITHIN THE PROJECT LIMITS, INCLUDING BUT NOT LIMITED TO ELECTRICAL / FIBER OPTIC TELEPHONE / CABLE / GAS / WATER / SANITARY / STORM. DEMOLITION OF THIS UTILITY WORK MUST BE IN ACCORDANCE WITH ALL STATE, FEDERAL, & LOCAL REGULATIONS.



1224 S. Pine Street  
 Burlington, Wisconsin  
 53105

kapurinc.com

PROJECT:  
**2024 E CENTRALIA STREET RECONSTRUCTION**

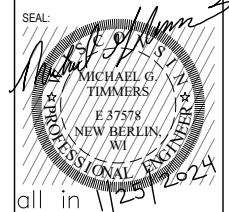
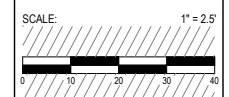
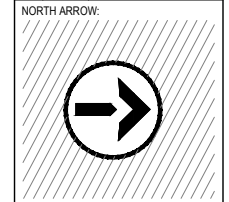
LOCATION:  
**CITY OF ELKHORN, WALTHAM COUNTY, WISCONSIN**



RELEASE:  
**BID PLANS**

REVISIONS:

#	DATE	DESCRIPTION

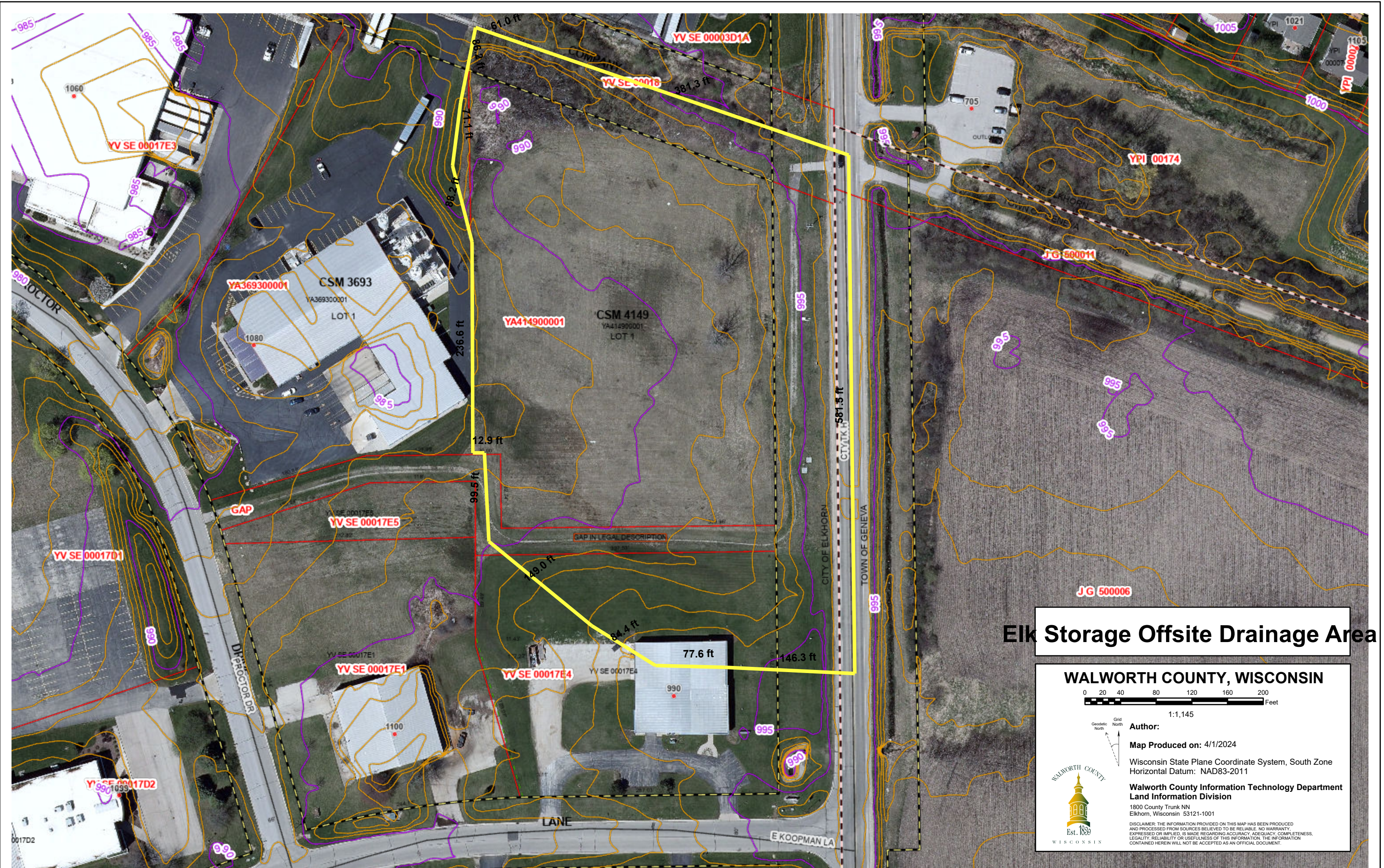


SHEET:  
**BIKE PATH GRADING PLAN**

PROJECT MANAGER: MGT  
 PROJECT NUMBER: 23.0455  
 DATE: 1/25/2024

SHEET NUMBER:  
**7.5**





# Elk Storage Offsite Drainage Area

**WALWORTH COUNTY, WISCONSIN**

0 20 40 80 120 160 200 Feet

1:1,145

Geodetic North / Grid North

**Author:**

**Map Produced on:** 4/1/2024

Wisconsin State Plane Coordinate System, South Zone  
Horizontal Datum: NAD83-2011

**Walworth County Information Technology Department  
Land Information Division**  
1800 County Trunk NN  
Elkhorn, Wisconsin 53121-1001

DISCLAIMER: THE INFORMATION PROVIDED ON THIS MAP HAS BEEN PRODUCED AND PROCESSED FROM SOURCES BELIEVED TO BE RELIABLE. NO WARRANTY, EXPRESSED OR IMPLIED, IS MADE REGARDING ACCURACY, ADEQUACY, COMPLETENESS, LEGALITY, RELIABILITY OR USEFULNESS OF THIS INFORMATION. THE INFORMATION CONTAINED HEREIN WILL NOT BE ACCEPTED AS AN OFFICIAL DOCUMENT.





# Farris, Hansen & Associates, Inc.

Engineers Architects Surveyors

April 11, 2024

Ms. Allison Schwark  
City of Elkhorn  
311 Seymour Court  
PO Box 920  
Elkhorn, WI 53121

Re: Elkhorn Storage Park  
Kapur Project #24.0190 Phase 02  
FHA Project No. 7576.23

Dear Allison,

In response to Naomi Rauch from Kapur's site plan review "Memo to the City of Elkhorn" dated April 1, 2024, we offer the following comments. Our numbers follow along with your comments.

SITE PLAN:

1. A new easement for 1980's watermain, if the title shows no easement here, will be drafted and recorded for it after confirmation of its location. (This would be a 20' easement, or whatever is needed.)
2. As requested, the firetruck radius's have been shown and cross slopes of a maximum 1:10 provided. This has been standard on similar projects. We will have no dead end fire lanes of 105' or more within the development. The drive on the south side of Building 6 is one way with an exit.
3. The storm basin berm top was mislabeled on the plan. This has now been corrected. The berm top will be 988.9 and the grade at the property line is 988.0. The berm will be fully on this property.
4. The bike path is shown as an 8' path with cross slopes not to exceed 2% and longitudinal slopes of 5% maximum. We have to enter off H as we show and there are small adjustments for the path to be raised about a half foot. (See plan.) If your bike path is 10', this also can be accommodated.
5. As it stands now, we probably will be installing a 12" stub that appears to go east across the right of way to Proctor drive. This storm sewer manhole had a large low head pipe with an invert of 876.0 and an 18" stub that appears to go east across Proctor. The invert of the 18" pipe is 978.82 at the manhole, but we have not found its termination. We believe we could connect east of Proctor if the 18" stub is found. It may have been originally installed to serve this larger open space.

Page 2  
Ms. Allison Schwark  
City of Elkhorn  
Re: Elkhorn Storage Park

April 11, 2024

6. The sheet 3 detail has been adjusted for the 12" outfall at grade 982.0

Stormwater Report

7. The stormwater basin will have a Type A clay liner conforming to DNR Tech Standard 1001.
8. We agree with this.
9. We had considered the offsite waters and they will be re-evaluated in the new stormwater report. They had minimal impact on the design flows. It appears to us now that there is water drainage across the bike path. Can this be channeled along the south side of the bike path to Proctor or to our outfall piping beyond the basin? Does the City have any documentation concerning the 18" stub crossing Proctor?
10. New copies of the stormwater report will be sent on Friday, April 12, prior to the meeting on April 18<sup>th</sup> to Naomi & others.
11. We will provide calculations to show the spillway and overflow weir are sized to convey and pass the 100 year peak flow. If we have to add an increase for offsite waters to the basin, we may have to increase the size of the outfall from 12" to 15" for the 100 year storm.
12. The maintenance agreement will be modified to follow the City template, as requested.

We believe this satisfactorily addresses her comments. We're sorry we didn't have a final version of this to you yesterday.

Sincerely,  
FARRIS, HANSEN & ASSOCIATES, INC.



Warren E. Hansen, P.E.

hes

pc: Matt Lindstrom, City of Elkhorn Public Works  
Shari McKinney, City of Elkhorn  
Naomi Rauch, Kapur

**TO:** Plan Commission – City of Elkhorn      **FROM:** Department of Building and Zoning  
**PC Meeting: Thursday, April 18, 2024 at 6:00 pm**

**Joseph Doherty, Sirdome Midwest Storage Association Inc.  
Conditional Use Permit & Site Plan Review  
PC Action: E24.02.003**

**General Information:**

Applicant(s): Joseph Doherty, Sirdome Midwest Storage Association Inc.  
Requested Action: Conditional Use Permit & Site Plan Review

**Site Information:**

Location: County Hwy H and Proctor Drive  
Tax Key: YA 414900001

**Zoning & Land Use:**

Zoning: M-1 Light Manufacturing District  
2040 Land Use Plan: Light Industrial

**Project History:**

The applicant is requesting a Site Plan and Architectural Review and Conditional Use Permit for the construction and operation of rentable mini warehouse storage units located on a vacant lot off of County Road H and Proctor Drive. The applicant is proposing the construction of 6 storage condos (Tax Key YA414900001). Improvements also include a new parking lot and internal driveway system and new stormwater pond. The parcel has a total area of 149,302 S.F. (3.43 Acres).

**Staff Review Summary:**

1. Staff recommends that Plan Commission consider the following review comments:
  - a. Review and Recommendation. In evaluating a request for Conditional Use Permit, the City Plan Commission shall review the application in regard to the following factors in making its recommendation to the Common Council:
    - (a) Consistency with the City's Comprehensive Plan,
    - (b) Site plan layout,
    - (c) Existing and proposed structures,
    - (d) Potential impacts on surrounding properties,
    - (e) Compatibility with the nearby pattern of development,
    - (f) Design of parking areas,
    - (g) Driveway locations and access to adjacent roads/roadway system,
    - (h) Traffic generation, circulation and potential congestion,
    - (i) Infrastructure/utilities including drainage, sewerage, and water systems,
    - (j) Proposed business operations,
    - (k) Landscaping,
    - (l) Lighting,
    - (m) Type of construction,
    - (n) Construction commencement and completion dates, and
    - (p) Sureties.

- Area, Yard & Height Requirements:
  - The site plan does not appear to be in compliance with Section 17.5 of the Municipal Code.
    - The rear yard setback in the M-1 Zoning District requires a 25 ft rear yard setback.
    - The property owner has applied for a variance on the rear yard setback, and the ZBA meeting is scheduled for April 25, 2024.
- Traffic, Loading, Parking and Access:
  - The site plan appears to be in compliance with requirements of Section 17.6
- General
  - City Engineer Review: See Kapur memo dated April 1, 2024.
  - Holding tank is depicted on site plan which is not in compliance with Section 13.4.030 - Use of the public sewers.
- Fire Protection
  - Fire Hydrants do not appear to be in compliance with Section 5.26
    - Fire hydrants shall be freestanding and located not more than 50' or less than 25' from the main entrance. Additional hydrants shall be provided around the perimeter of the building so that no fire hydrant is more than 350' from another approved hydrant measured by normal access routes, if the building is not protected by a sprinkler system. If the building is protected by a sprinkler system, the maximum distance is 450'.
    - See included in your packet proposed fire hydrant location by Kapur.
  - Fire Lanes do not appear to be in compliance with Section 5.30
    - Specifications for Fire Lanes. All fire lanes, whether required by this chapter or not, shall meet COMM 62 and NFPA 1, be at least 20' wide. Fire lanes shall be located so that the closest edge of the fire lane is at least 10' from a building but not more than 30' from the building(s) with which it is associated. All curves and turn-arounds shall be designed for a minimum 48' turning radius.
    - Marking of Fire Lanes. Any fire lane, whether required by this chapter or not, shall be marked with approved signs within 5' of the beginning and within 5' of the end of the fire lane. Spacing between such signs shall not exceed 100'. Fire lane signs shall be affixed to a stationary pole or object and shall face in the direction of oncoming traffic. In addition to signage, the curb along each fire lane shall be painted yellow. Where there is no curb, a 4" wide stripe shall be painted the full length of the fire lane. In addition to signage and marking described above, any roadway for the exclusive use as a fire lane shall be striped with 4" wide yellow stripes.

### **Staff Recommendations:**

2. Staff recommends that the Plan Commission **TABLE** the conditional use permit, Site Plan Review, and Architectural Review for rentable mini warehouse storage due to the following reasons:
  - a. There are several items within the submittal that require additional attention and are not in compliance with our current municipal ordinances.
  - b. Several Engineering comments in Kapur memo dated April 1, 2024, have not been addressed.
  - c. Project revisions were submitted on April 10, 2024, and staff has not had adequate time to review Farris Hansen Comments and Revisions to Site Plan.

**CITY OF ELKHORN  
NOTICE OF PUBLIC HEARING**

**CONDITIONAL USE PERMIT**

Notice is hereby given that a public hearing will be held before the Plan Commission of the City of Elkhorn on April 18, 2024, at 6:00 P.M. or soon thereafter as the matter may be heard in the Council Chambers, City Administration Offices, 311 Seymour Court, Elkhorn, WI for the purpose of hearing all interested parties, their attorneys or agents with respect to the application submitted by Ricardo Angeles, Ricky's Place Restaurant for a Conditional Use Permit to allow outside dining located at 1 North Lincoln Street. The property is more precisely identified by the following tax parcel ID:

**YRW 00022A**

The City of Elkhorn will attempt to accommodate anyone with special needs if requests are made a sufficient time in advance. The City Clerk can be reached at: (262) 723-2219.

Dated this 25th day of March 2024.

Allison Schwark  
Zoning Administrator

Publish 2x: 04/04/24 & 04/11/24  
Elkhorn Independent

# PLANNING REQUEST

FOR OFFICE USE ONLY

PC# E24-03-005

## CITY OF ELKHORN - DEPARTMENT OF BUILDING AND ZONING

311 SEYMOUR COURT., P.O. BOX 920 • ELKHORN, WI 53121

PHONE: (262)741-5124 • FAX: (262) 741-5135

Notice: This document is an Official City of Elkhorn Document. All submittals must be made on Official City of Elkhorn Documents.

### 1. General Project Information:

Project Tax Key #: 221-4RW 00622A Project Address: 1 North Lincoln St.  
Project Title (if any): Ricky's Place Restaurant

### 2. Applicant, Agent & Property Owner Information:

Applicant's Name: Ricardo Angeles Company: Ricky's Place Restaurant  
Street Address: 1 North Lincoln St. City/State: Elkhorn WI Zip: 53121  
Telephone: (262) 741-325 Fax: ( ) Email: richard.09.angeles@gmail.com  
Agent: \_\_\_\_\_ Company: \_\_\_\_\_

Street Address: \_\_\_\_\_ City/State: \_\_\_\_\_ Zip: \_\_\_\_\_

Telephone: ( ) \_\_\_\_\_ Fax: ( ) \_\_\_\_\_ Email: \_\_\_\_\_

Owner, if different from Applicant: Midwestone/South County Properties LLC  
Street Address: 425 FROSTDR City/State: Williams Bay WI Zip: 53191  
Telephone: (227) 287-9275 Fax: ( ) Email: rent2875@gmail.com

### 3. Planning Request (Check all that apply)

- Site Plan and Architectural Review \_\_\_\_\_ \$175.00 plus \$.04 per sq. ft. (Floor Area)
- Conditional Use Permit \_\_\_\_\_ \$275.00
- Rezone \_\_\_\_\_ \$325.00
- Land Use Amendment \_\_\_\_\_ \$350.00
- Planned Unit Development \_\_\_\_\_ \$325.00
- Preliminary Plan \_\_\_\_\_ \$200.00 plus \$20.00 per lot
- Final Plat \_\_\_\_\_ \$200.00 plus \$20.00 per lot
- Certified Survey Map \_\_\_\_\_ \$200.00 plus \$20.00 per lot
- Project Concept Review \_\_\_\_\_ \$150.00
- Conceptual Land Division \_\_\_\_\_ \$100.00 plus \$3.00 per acre
- Joint Conditional Use & Rezoning \_\_\_\_\_ \$575.00
- Joint Rezoning & Certified Survey Map \_\_\_\_\_ \$500.00 plus \$20.00 per each new lot
- Zoning Board of Appeals/Adjustment \_\_\_\_\_ \$325.00

# CONDITIONAL USE PERMIT APPLICATION

FOR OFFICE USE ONLY  
PC# E24-03-005

## CITY OF ELKHORN - DEPARTMENT OF BUILDING AND ZONING

9 S. BROAD ST., P.O. Box 920 • ELKHORN, WI 53121  
PHONE: (262)741-5124 • FAX: (262) 741-5135

Notice: This document is an Official City of Elkhorn Document. All submittals must be made on Official City of Elkhorn Documents.

I, (~~We~~), the undersigned owner(s)/agent do hereby petition the Plan Commission to grant a Conditional Use Permit.

1. Address and legal description of the subject site (attach a separate sheet if necessary):  
1 North Lincoln St Elkhorn, WI 53121
2. Tax Parcel number: \_\_\_\_\_
3. Zoning District: B-1
4. Requested Conditional Use: outside Dining
5. Petitioner's interest in the requested Conditional Use Permit: owner
6. List type and number of structures, proposed operation or use of the structure(s) or site, number of employees, parking, etc.: outside Dining

I, (We) hereby certify that all the above statements and attachments submitted herewith are true and correct to the best of my knowledge and belief.

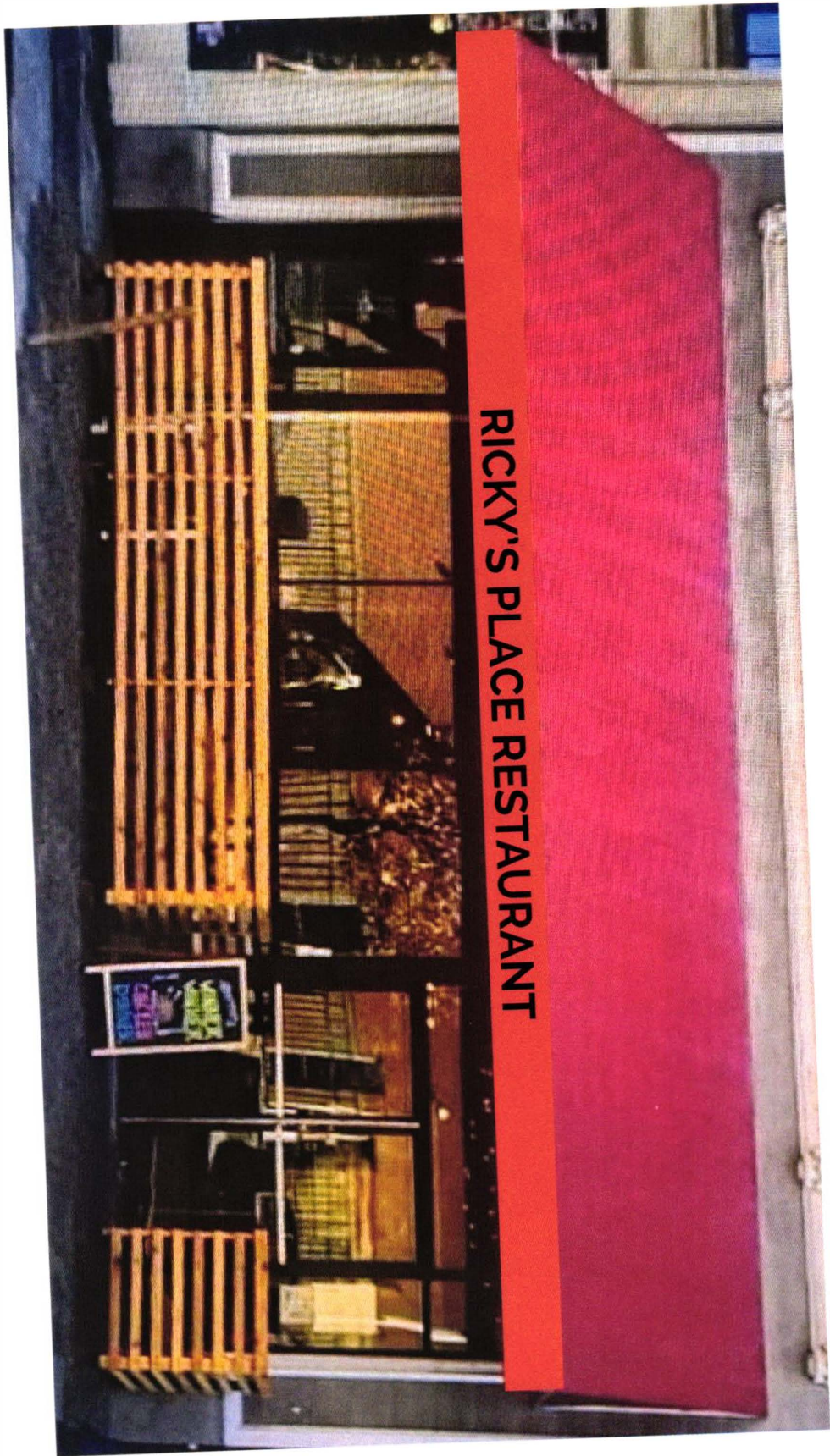
PROPERTY OWNER
<u>Patrick Watts</u>
(Signature)
<u>PATRICK WATTS</u>
Printed
Address <u>425 Frost</u>
<u>Drive - Williams Bay</u>
<u>WI 53191</u>
Phone <u>262 949-2875</u>

OWNER'S AGENT
_____
(Signature)
_____
Printed
Address _____
_____
Phone _____

---- FOR OFFICE USE ONLY ----

Application Reviewed By: \_\_\_\_\_ Date: \_\_\_\_\_  
Date Filed: \_\_\_\_\_ Date Published: \_\_\_\_\_ Date Notices Mailed: \_\_\_\_\_  
Date of Public Hearing: \_\_\_\_\_  
PLAN COMMISSION RECOMMENDATION: \_\_\_\_\_ DATE: \_\_\_\_\_  
CITY COUNCIL ACTION: \_\_\_\_\_ DATE: \_\_\_\_\_

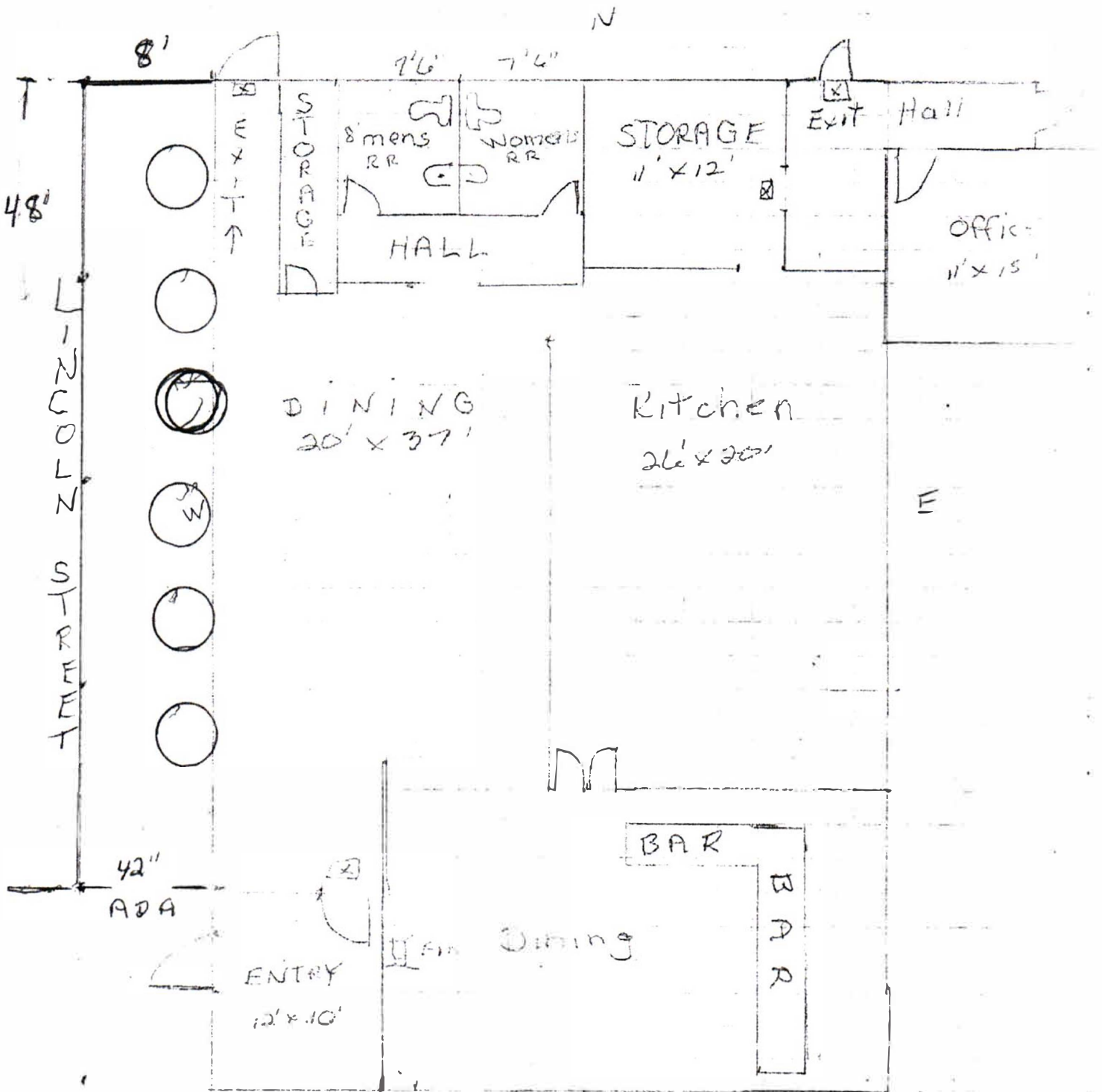




**RICKY'S PLACE RESTAURANT**



# 1 NORTH LINCOLN



1/8" scale  
12/7/23



Special Use Permit Application

Per Chap. 12.03(3) of the Elkhorn Municipal Code

Application needs to be submitted

15 days prior to the next Council meeting

Applicant Name: Ricardo Angeles

Applicant Phone Number: 262-325-7614

Business Name: Ricky's Place Restaurants

Business Address: 1 N Lincoln St

Business Phone Number: 262-723-1599

Description of Event: Outside Dining

Outdoor Location Description: West side under canopy - Lincoln street

Date(s) of event: May 1 to September 30 Annual

Time(s) of event: 10:30 AM - 8:00 PM Tues - Friday  
8:00 - 8:00 Saturday - 8:00 - 2:00 Sunday

Signature of applicant  
Ricardo Angeles

Date February 21, 2024

Please attach a drawing of the area where the event will be located.

<b>Office Use Only</b>	
Date Received:	_____
Date of Next Council Meeting:	_____
Date Approved:	_____
License No.	_____
Date Issued	_____

**TO:** Plan Commission – City of Elkhorn      **FROM:** Department of Building and Zoning  
**PC Meeting: Thursday, April 18, 2024 at 6:00 pm**

**Ricardo Angeles, Ricky's Place Restaurant.  
Conditional Use Permit  
PC Action: E24.03.005**

**General Information:**

Applicant(s): Ricardo Angeles, Ricky's Place Restaurant  
Requested Action: Conditional Use Permit

**Site Information:**

Location: 1 North Lincoln Street  
Tax Key: YRW 00022A

**Zoning & Land Use:**

Zoning: B-1 Central Business District  
2040 Land Use Plan: Community Commercial

**Project History:**

The applicant is requesting a conditional use permit for outdoor dining located at 1 N. Lincoln Street from May 1 to September 30, with times of operation 10:30am-8:00pm Tuesday-Friday, 8:00am-8:00pm Saturday, and 8:00am-2:00pm Sunday. The property is already within the adequate zoning district for this operation.

**Staff Recommendations:**

1. Staff recommends that the Plan Commission **APPROVE** the conditional use for outdoor dining with the following conditions:
  - a. The project shall be developed in accordance with the plan of operations. Any deviation from the approved plans shall require zoning administrator and/or Plan Commission approval.
  - b. The total number of outdoor tables shall not exceed six (6).
  - c. The tables and chairs shall not be stored outdoors from November-April.
  - d. The times of outdoor operation shall be as follows: 10:30am-8:00pm Tuesday-Friday, 8:00am-8:00pm Saturday, and 8:00am-2:00pm Sunday.
  - e. Fencing material and height shall be approved by the zoning administrator.
  - f. Outdoor seating shall never obstruct public sidewalk or pedestrian access.